



ADDENDUM NUMBER TWO

March 19, 2021

**INVITATION FOR BIDS #21-912-15
EXTERIOR AND INTERIOR REPAIRS TO UNITS IN THE FISCHER
HOUSING COMMUNITIES**

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING INTO THE REFERENCED INVITATION FOR BIDS

ITEM #1 SCOPE OF WORK - GENERAL REQUIREMENTS

DELETE: delete line no. 4 of the "GENERAL REQUIREMENTS", in its entirety.

INSERT: add the following line no. 4:

4. "Each unit may have evidence of fungal growth throughout unit. The contractor shall: remove all drywall necessary to eradicate the problem including behind cabinets, (bath & kitchen), and tub surround; investigate the cause of moisture and make the necessary repairs; treat all area as per DEQ requirements. The contractor shall: provide a Mold Remediation Certificate for each unit where the problem exist; tape, float, skim and texture all surfaces to prepare for paint; ensure all walls and ceilings have a smooth and even finish prior to painting; and, match existing in size and finish."

ITEM #2 SCOPE OF WORK - SPECIFIC ITEMS

DELETE: delete line no. 1 from the following units, in its entirety:

1964 Hendee
2084 Hendee
2088 Hendee
1501 Shepard
1850 Thayer
1862 Thayer

INSERT: add the following line no. 1:

1. "There is evidence of fungal growth throughout unit. The contractor shall include in his bid, 640 square feet to remove all drywall necessary to eradicate the problem including behind cabinets, (bath & kitchen), and tub surround. The contractor shall: investigate the cause of moisture and make the necessary repairs; treat all area as per DEQ regulations; tape, float, skim and texture all surfaces to prepare for paint; ensure all walls and ceilings have a smooth and even finish prior to painting; and, match existing in size and finish."

DELETE: delete line no. 2 from the following unit, in its entirety:
1805 Thayer

INSERT: add the following line no. 2:

2. "There is evidence of fungal growth throughout unit. The contractor shall include in his bid 640 square feet to remove all drywall necessary to eradicate the problem including behind cabinets, (bath & kitchen), and tub surround. The contractor shall: investigate the cause of moisture and make the necessary repairs; treat all area as per DEQ regulations; tape, float, skim and texture all surfaces to prepare for paint; ensure all walls and ceilings have a smooth and even finish prior to painting; and, match existing in size and finish."

DELETE: delete "2040 Lebouef Street – (Fischer IV) Fungal Growth"

INSERT: insert "2040 Lebouef Street – (Fischer IV)"

DELETE: delete line no.1 from the following unit, in its entirety:
2040 Lebouef

DELETE: delete "2036 Lebouef Street – (Fischer IV)"

INSERT: insert "2036 Lebouef Street – (Fischer IV) Fungal Growth"

INSERT: add line no. 2 to the following unit, in its entirety:
2036 Lebouef

2. "There is evidence of fungal growth throughout unit. The contractor shall include in his bid removal of all drywall throughout unit to eradicate the problem, including behind cabinets, (bath & kitchen), and tub surround. Contractor shall: investigate the cause of moisture and make the necessary repairs; treat all area as per DEQ requirements; provide a Mold Remediation Certificate for each unit where the problem exist; tape, float, skim and texture all surfaces to prepare for paint; ensure all walls and ceilings have a smooth and even finish prior to painting; and, match existing in size and finish."

ITEM # 3 UNIT COST

INSERT: The contractor shall provide a unit cost to remove 32 square feet of fungal growth drywall and remediate as per DEQ requirements.

Refer to LA Public Works Unit Price Form, as attached.

ITEM #4 FLOOR PLANS

INSERT: insert A-1, and A-2 Floor Plans, as attached.

Bids must be received by the Housing Authority of New Orleans (HANO) in the Department of Procurement and Contracts by 2:00 P.M. CST on Tuesday, March 23, 2021. All terms and conditions shall remain as stated in the original Invitation for Bids. All addenda must be acknowledged.

END OF ADDENDUM NUMBER TWO

**LOUISIANA UNIFORM PUBLIC WORK BID FORM
UNIT PRICE FORM**

IFB #21-912-15

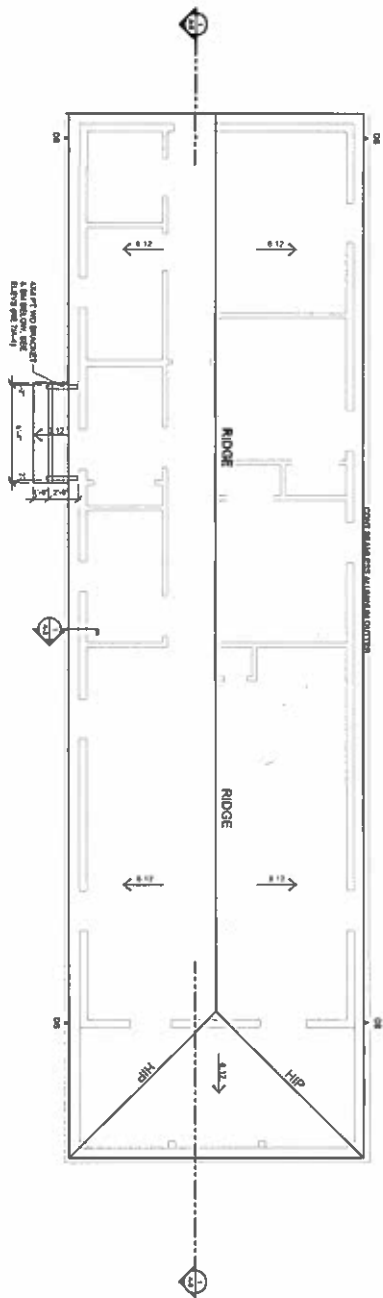
TO: THE AUTHORITY OF NEW ORLEANS
4100 TOURO STREET
NEW ORLEANS, LOUISIANA 70122
PROCUREMENT AND CONTRACTS DEPT.

RFQ FOR: EXTERIOR AND INTERIOR REPAIRS TO UNITS IN THE FISCHER
HOUSING COMMUNITIES
IFB #21-912-15

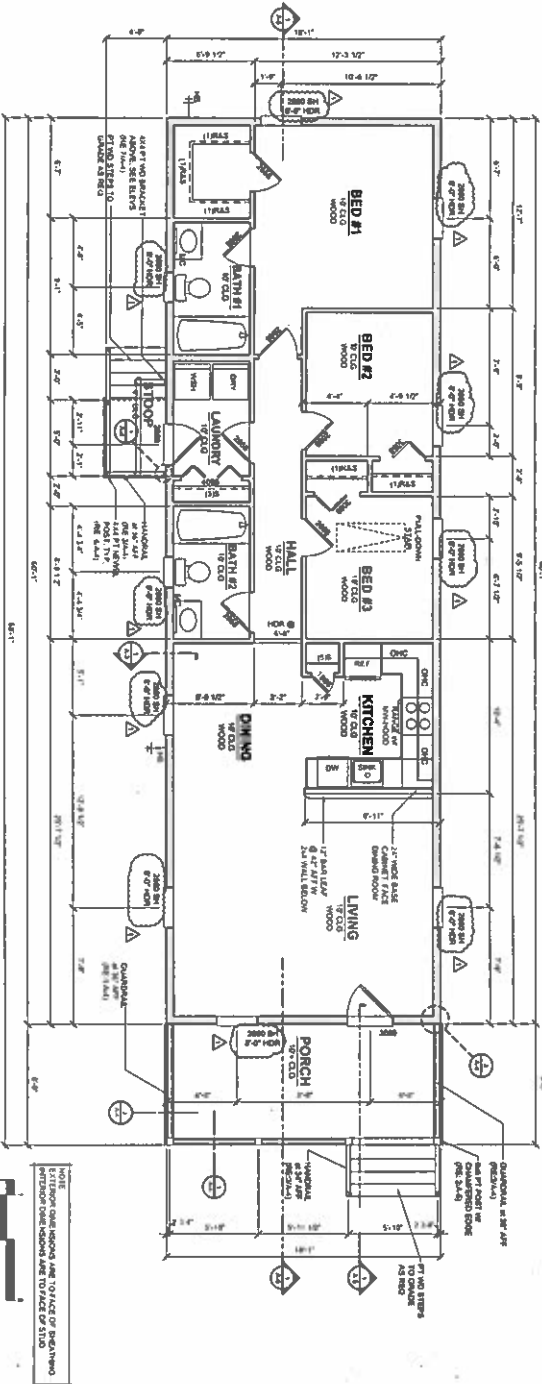
UNIT PRICES: This form shall be used for any and all work required by the Bidding Documents and described as unit prices. Amounts shall be stated in figures and only in figures. Contractor shall use these estimated quantities in determining the Bid Amount for each unit price item and shall include these amounts in their total Bid Amount.

DESCRIPTION: <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# N/A Provide cost to remove fungal growth drywall				
Scope of Work REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
1	32	Square Feet		
DESCRIPTION: <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# <u>N/A</u> Remediate per DEQ requirements				
Scope of Work REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
2	32	Square Feet		

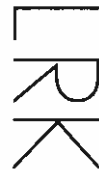
* All quantities are estimated. The contractor must verify the unit of measure for each unit price item identified in the Unit Price Schedule. All quantities must be verified by HANO, prior to performing the Work. The Contractor will be paid based upon actual quantities as verified by HANO. Refer to the Scope of Work.



ROOF PLAN



FLOOR PLAN



Leoney Ricks Kiss

Architectural Services, Consulting, Urban Design
 5415 Corporate Boulevard, Suite 1008
 Baton Rouge, LA 70805
 Phone: 225.928.4900
 Fax: 225.928.4906
 E-mail: info@lrk.com

A Single Family Plan for
 CRESS REALTY PARTNERS, LLC
 BATON ROUGE, LA

225.734.4874

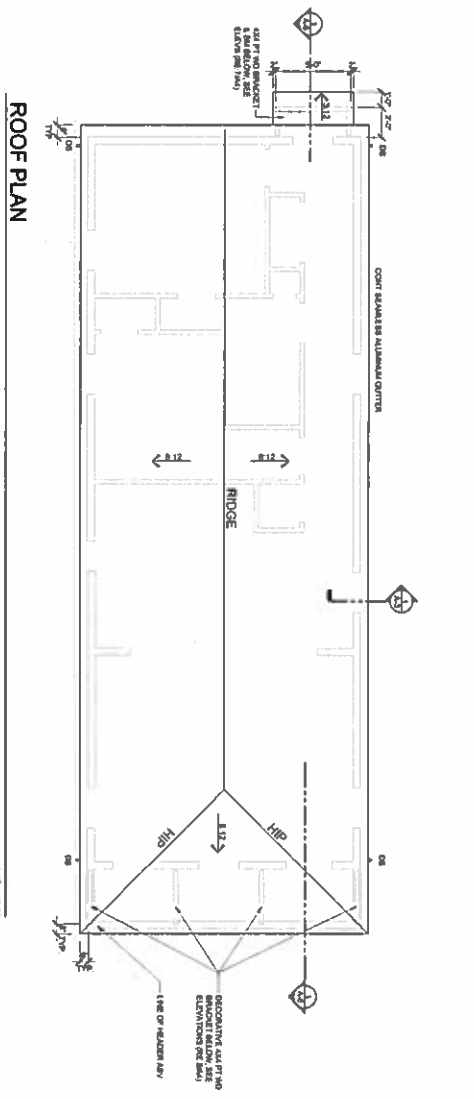
NOTE: DRAWING SCALE NOTED
 IS REDUCED WHEN
 PRINTED ON 11x17 MEDIA

Drawn and Scaled:	Issue
10	1/24/08
01	8/20/11

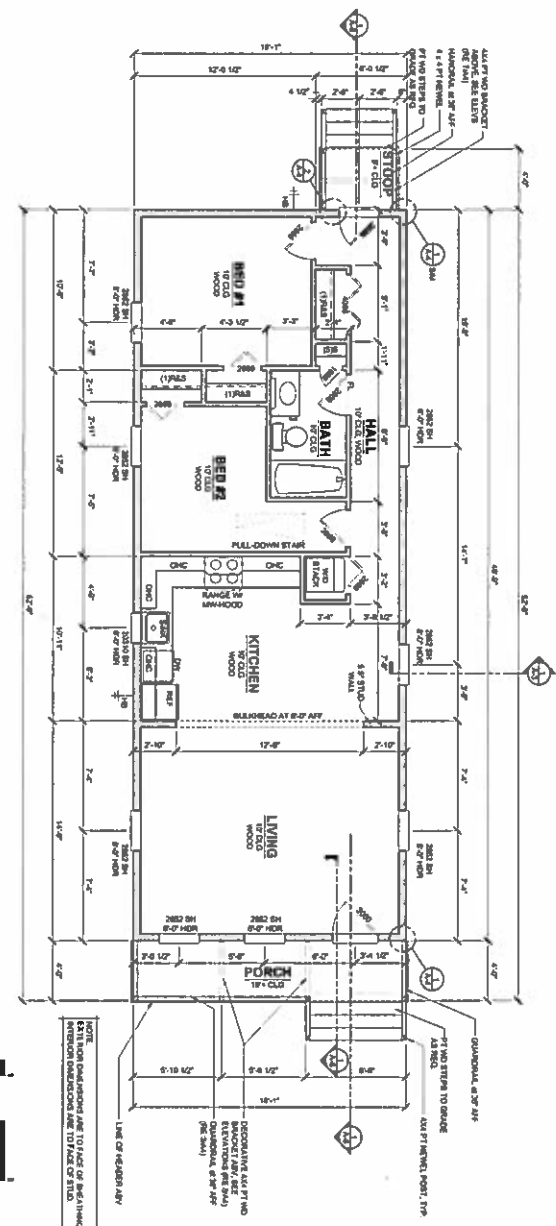
Project Name: KC 1080 NOLA
 Location: KATYAN CONTINENTS
 JACOBI BARUCH'S



A-1



ROOF PLAN



FLOOR PLAN

LRK
Looney Ricks Kiss
 Architecture Interior Design
 4000 Lakeshore Drive
 Baton Rouge, Louisiana 70803
 Telephone: 225-578-4505
 Fax: 225-578-4505
 E-mail: lrk@lrk.com

A Single Family Plans for
CRESS REALTY PARTNERS, LLC
 BATON ROUGE, LA
 225-754-4874

NOTE: DRAWING SCALE NOTED
 5' EQUALS 3/8" WHEN
 PRINTED ON 11" X 17" ARCH.

No.	Date	Issue
01	11/24/03	ISSUE SET

Drawn by: jpw
 Checked by: jpw
 Project Number: 03-28002-00
 Project Name: KC 874 NOLA
 Location: MOORE BARBERS
 Drawing Name: FLOOR PLAN
 Sheet: 1 of 1



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